



COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
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**CITY OF NEWPORT BEACH
ZONING ADMINISTRATOR STAFF REPORT**

October 27, 2013
Agenda Item No. 3:

SUBJECT: Prun Residence Modification Permit - (PA2013-177)
3400 Ocean Blvd
Modification Permit No. MD2013-015

APPLICANT: Miguel Fernandez

PLANNER: Makana Nova, Assistant Planner
(949) 644-3249, mnova@newportbeachca.gov

ZONING DISTRICT/GENERAL PLAN

- **Zone:** R-1 (Single-Unit Residenital)
- **General Plan:** RS-D (Single-Unit Residential)

PROJECT SUMMARY

A modification permit to allow a Building Code required guardrail of an as-built exterior entry stairway and a proposed access ramp in the side setback adjacent to Marigold Avenue to exceed the 6-foot height limit by 7 inches. The applicant also requests approval of an as-built 3-foot-3-inch-high retaining wall adjacent to the right-of-way within the front setback where the Zoning Code limits the height of the first retaining wall in a series to a maximum of 2 feet in height. The property is currently developed with a newly constructed 5,390-square-foot single-family residence with a 2,934-square-foot basement.

RECOMMENDATION

- 1) Conduct a public hearing; and
- 2) Adopt Draft Zoning Administrator Resolution No. _ approving Modification Permit No. MD2013-015 (Attachment No. ZA 1).

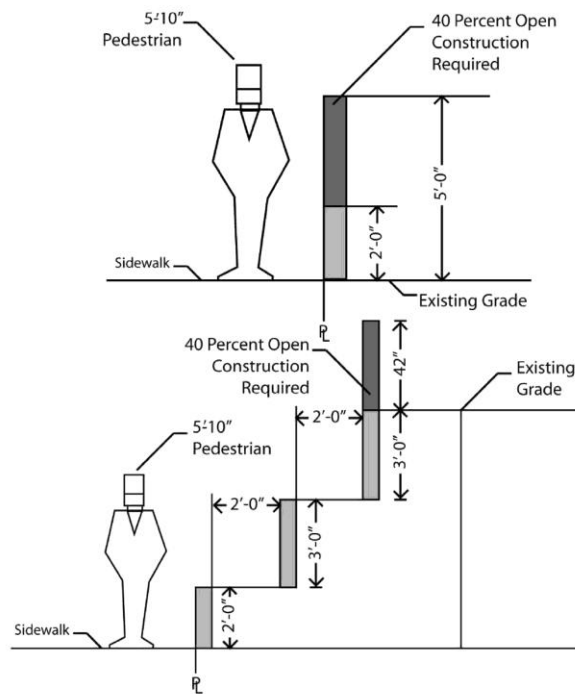
DISCUSSION

Existing Stair and Proposed Access Ramp

- The as-built stairway provides access to the entry at the first floor of the residence. The stairway height is necessary because of grade differences between the front entry and the adjacent side walk. The stairs comply with the 6-foot height limit. However, the Building Code required 42-inch guardrail exceeds the height limit by 7 inches.
- The applicant also requests approval of a 3-foot by 20-foot access ramp to join to the as-built stair entry. This area is currently developed with a planter wall. As with the stairway, the proposed ramp complies with the 6-foot height limit in the side setback. However, the Building Code required 42-inch guardrail exceeds this height limit by 7 inches. The ramp is requested to provide handicap accessibility to the main residence.
- The stair and ramp entry are designed in such a way to accommodate the required landing for the entry and are above the basement walls located below the first floor level.
- The stair and ramp guardrails are located on the street side yard adjacent to Marigold Avenue. They are approximately 37 feet back from the front property line along Ocean Boulevard and approximately 61 feet from the alley. The guardrails consist of open wrought iron construction, thus limiting the visual impact of the structure's height.
- The as-built stairway and existing planter walls of varying height along Marigold Avenue encroach approximately 6 to 8 inches into the public right-of-way. Staff recommends that the planter wall in front of the stairway closest to Ocean Boulevard be lowered to 36 inches in height within the right-of-way. If approved, the applicant will be required to obtain approval of an encroachment agreement with a waiver of Council Policy L-6 to retain the entry stairway as constructed.
- The as-built stair rail and proposed ramp/rail will not interfere with or impede emergency access or sight distance
- Staff believes the findings for the requested Modification Permit can be made due to the grade variations that occur along Marigold Avenue and the necessity of the accessory structures to achieve adequate access to the residence.
- The alternative would be to require the as-built stairway and planter walls to be demolished and reconstructed within the side setback on private property so that a guardrail is not required under the building code or so that the guardrail does not exceed 6 feet in height within the side yard.

Retaining Wall

- The 3-foot-3-inch as-built retaining wall in the front yard setback is adjacent to Ocean Boulevard. Zoning Code Section 20.30.040 (Fences, Hedges, Walls, and Retaining Walls) allows the first retaining wall in a series at a maximum of 2 feet in height. Refer to Figure 3-1 (Grade Differential at Front Property Line) from the Zoning Code on the following page, which demonstrates this code requirement. The grade along the Ocean Boulevard frontage varies by approximately 11 inches. The wall was built at 2 feet in height at the highest grade elevation and is 3 feet 3 inches in height from grade at its highest point. The height of the wall varies along the frontage with the grade to provide a consistent top of wall elevation.



- Section 20.52.050 (Modification Permits) of the Zoning Code allows deviations of 10 percent of the required developed standard with the approval of a modification permit. The height of retaining walls is exempted from this percentage limitation. This code section recognizes that relief from specified development standards, including structural appurtenances or projections that encroach into front, side, or rear setback areas, may be appropriate when so doing is consistent with the purposes of the Zoning Code and the General Plan, and does not negatively impact the community at large or in the neighborhood of the specified development.

- Staff believes the findings for the requested Modification Permit can be made due to the grade variations that occur along Ocean Boulevard and the necessity of the accessory structures to achieve adequate access to the residence.
- The alternative for the retaining wall in the front setback would require the removal and reconstruction of the lowest retaining wall in a series that supports the front yard and residence above.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15305, of the California Environmental Quality Act (CEQA) Guidelines - Class 5 (Minor Alterations in Land Use Limitations).

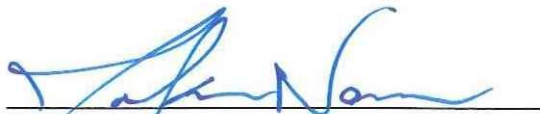
PUBLIC NOTICE

Notice of this application was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

An appeal may be filed with the Director of Community Development within 14 days following the date of action. For additional information on filing an appeal, contact the Planning Division at (949) 644-3200.

Prepared by:



Makana Nova
Assistant Planner
GR/mkn

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Site Photos
	ZA 4	Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2013-0##

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING MODIFICATION PERMIT NO. MD2013-015 FOR AN ENTRY STAIRWAY, RAMP, AND RETAINING WALL LOCATED AT 3400 OCEAN BOULEVARD (PA2013-177)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Miguel Fernandez, representing property owner, Jon Prun, with respect to property located at 3400 Ocean Boulevard, and legally described as Lots 7 and 8, Block 140 of the Resubdivision of Corona del Mar, as shown on a map recorded in Book 4, Page 67 of Miscellaneous Maps, records of Orange County, California, excepting the East 12 feet of Lot 7, requesting approval of a modification permit.
2. The applicant proposes a modification permit to allow a Building Code required guardrail of an as-built exterior entry stairway and a proposed access ramp in the side setback adjacent to Marigold Avenue to exceed the 6-foot height limit by 7 inches. The applicant also requests approval of an as-built 3-foot-3-inch-high retaining wall adjacent to the right-of-way within the front setback where the Zoning Code limits the height of the first retaining wall in a series to a maximum of 2 feet in height.
3. The subject property is located within the R-1 (Single-Unit Residential) Zoning District and the General Plan Land Use Element category is RS-D (Single-Unit Residential Detached).
4. The subject property is located within the coastal zone. The Coastal Land Use Plan category is RSD-B (Single-Unit Residential Detached).
5. A public hearing was held on November 27, 2013, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. The project is categorically exempt under Section 15305, of the California Environmental Quality Act (CEQA) Guidelines - Class 5 (Minor Alterations in Land Use Limitations).
2. The Class 5 categorical exemption includes side yard and setback variances not resulting in the creation of any new parcel. The Modification Permit for the entry stair

and ramp within the side setback and retaining wall within the front setback qualify under this exemption.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 20.52.050.E (Required Findings, Modification Permits) of the Newport Beach Municipal Code (NBMC), the following findings and facts in support of the findings for a modification permit are set forth:

Finding:

- A. *The requested modification will be compatible with existing development in the neighborhood.*

Facts in Support of Finding:

1. The neighborhood is comprised of a development pattern of single-unit and two-unit (duplex) dwellings.
2. The adjacent property and other properties fronting Ocean Boulevard have similar retaining wall improvements adjacent to Ocean Boulevard. The height of the 3-foot-3-inch retaining wall is less than the typical 42 inch maximum typically allowed in the front yard setback for fences and walls that are not retaining.
3. The subject property is a corner lot where the as-built stairway and proposed ramp would provide required access to the dwelling along Marigold Avenue. These types of improvements are typical along a street side residential frontage. The guardrails consist of open wrought iron construction and the solid wall is 3 feet 1 inch in height at its highest point.

Finding:

- B. *The granting of the modification is necessary due to practical difficulties associated with the property and that the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code.*

Facts in Support of Finding:

1. The requested structures are over height as a result of the need to comply with Building Code requirements for a minimum 42-inch guardrail and grade changes along the adjacent street frontages.
2. The stair and ramp entry are designed in such a way to provide the required landing for the entry and accommodate the basement walls located below the main residence.
3. The granting of the Modification Permit would not constitute a special privilege inconsistent with the limitations upon other properties along Ocean Boulevard as it

allows the property owner to maintain parity with the usable access and entry improvements enjoyed by nearby properties.

4. The front of the property adjacent to Ocean Boulevard has a grade differential of approximately 11 inches from the left side of the property to the right side of the property. The height of the wall in its as-built condition provides a consistent top of wall elevation across the Ocean Boulevard frontage.

Finding:

- C. *The granting of the modification is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use.*

Facts in Support of Finding:

1. The property has a 4-foot grade differential from the finished floor elevation of the residence to the finished surface elevation at the adjacent sidewalk along Marigold Avenue. The as-built stairway is necessary to achieve proper access into the residence with the Building Code required guardrail.
2. The ramp is necessary to achieve wheel chair access into the home. Due to the 4-foot grade differential adjacent to Marigold Avenue, the ramp exceeds the 6-foot height limit because of the Building Code required guardrail.
3. The front of the property adjacent to Ocean Boulevard is part of a series of walls that retain the 5-foot-11-inch vertical change in the front yard leading up to the finished floor of the residence. The height of the wall in its as-built condition provides a consistent top of wall elevation across the Ocean Boulevard frontage. This retaining wall has a grade differential of approximately 11 inches from the left side of the property to the right side of the property.

Finding:

- D. *There are no alternatives to the Modification Permit that could provide similar benefits to the applicant with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.*

Facts in Support of Finding:

1. Strict application of the code would require the existing improvements to be removed and reconstructed in such a way that all structures are constructed entirely on private property and guardrails are not required for the stairway and ramp to access the residence.
2. Strict application of the code would require the applicant to remove the existing front retaining wall and lower or step it so that it does not exceed 2 feet in height at any point along the entire Ocean Boulevard frontage. This retaining wall is part of a series

of walls that retain the 5-foot-11-inch vertical change in the front yard leading up to the finished floor of the residence.

Finding

- E. The granting of the modification would not be detrimental to public health, safety, or welfare to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.*

Fact in Support of Finding

1. The stair and ramp location adjacent to Marigold Avenue allows for adequate access for emergency personnel. The spatial relationships between existing development and the adjacent Marigold Avenue suggest that the light, air, and public use of the adjacent right-of-way will not be negatively affected.
2. The applicant/owner is required to obtain a building permit for the as-built and proposed work. The construction will then be inspected prior to final of building permits.
3. The existing development on the property is a single-family residence. As such, there is no change to the density or intensity resulting from the as-built entry stair, proposed ramp, and as-built retaining wall.
4. That the design of the development will not conflict with any easements acquired by the public at large for access through or use of property within the proposed development.
5. Public improvements will be required of the Applicant per the Municipal Code and the Subdivision Map Act.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Modification Permit No. MD2013-015 (PA2013-177), subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.
2. This action shall become final and effective 14 days after the adoption of this Resolution unless within such time an appeal is filed with the Community Development Director in accordance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.

PASSED, APPROVED AND ADOPTED THIS 27TH DAY OF NOVEMBER, 2013.

Brenda Wisneski, AICP, Zoning Administrator

EXHIBIT "A"
CONDITIONS OF APPROVAL

PLANNING

1. The development shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval. (Except as modified by applicable conditions of approval.)
2. Modification Permit No. MD2013-015 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
3. A copy of the Resolution with conditions of approval shall be incorporated into the Building Division and field sets of plans prior to the issuance of building permits.
4. Prior to the issuance of building permits, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Modification Permit file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Modification Permit and shall highlight the approved elements such that they are readily discernible from other elements of the plans.
5. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
6. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Modification Permit.
7. The Zoning Administrator may add to or modify the conditions of approval to this Modification Permit or revoke this Modification Permit upon a determination that the operation, which is the subject of this Modification Permit, causes injury, or is detrimental to the health, safety, peace, comfort, or general welfare of the community.
8. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the property owner.
9. To the fullest extent permitted by law, applicant shall indemnify, defend, and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly

or indirectly) to City's approval of the Prun Residence Modification Permit including, but not limited to, Modification Permit No. MD2013-015 (PA2013-177). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages, which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Building Division and Fire Department Conditions

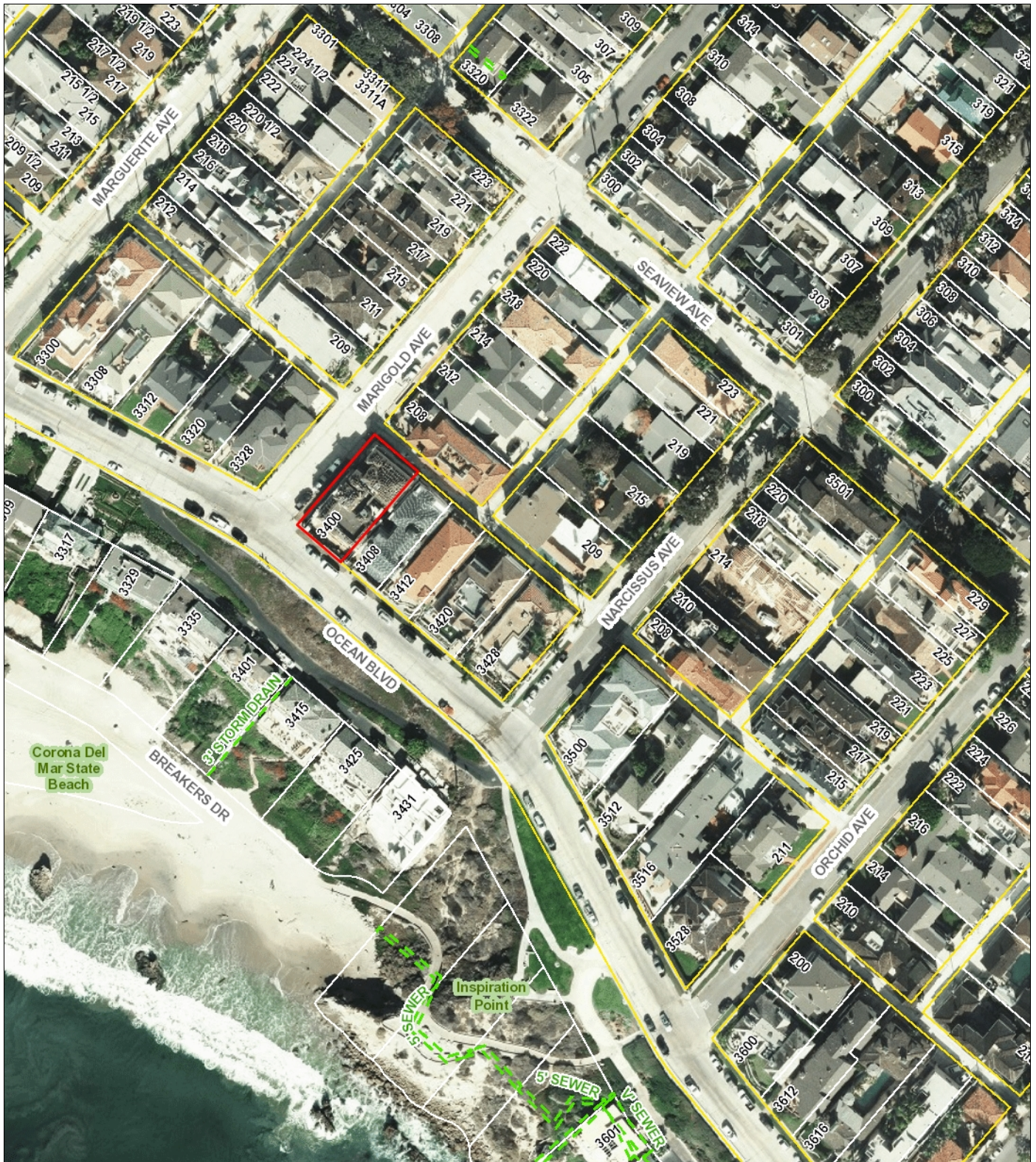
10. The applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code. The construction plans must meet all applicable State Disabilities Access requirements.
11. The structures shall comply with the 2010 California Residential Code for construction relative to the property line. Non combustible construction shall be required to the satisfaction of the Building Division. The ramp shall provide the minimum width required by the 2010 California Residential Code.

Public Works Conditions

12. The as-built stairway and existing planter walls along Marigold Avenue are encroaching approximately 6-8 inches into the public right-of-way. Prior to issuance of building permits, the applicant shall obtain approval of an encroachment agreement with a waiver of Council Policy L-6 to retain the entry stairway railing and wall adjacent to the alley as constructed.
13. Prior to the issuance of building permits, the planter wall in front of the stairway closest to Ocean Boulevard shall be lowered to 36 inches in height within the right-of-way and the applicant shall obtain an encroachment agreement for the 7-foot-10-inch-wide planter wall built within the public-right-of-way adjacent to Marigold Avenue.
14. Prior to issuance of building permits, the project plans shall demonstrate that the guardrail for the proposed ramp will be constructed entirely on private property.
15. The 5-foot parkway within the Marigold Avenue right-of-way shall be maintained as landscape/softscape without hardscape improvements.
16. County Sanitation District fees shall be paid prior to the issuance of any building permits.
17. All improvements shall be constructed as required by Ordinance and the Public Works Department.

Attachment No. ZA 2

Vicinity Map



Newport
Beach
GIS



0 131 262
Feet

Disclaimer: Every reasonable effort has been made to assure the accuracy of the data provided, however, The City of Newport Beach and its employees and agents disclaim any and all responsibility from or relating to any results obtained in its use.

Imagery: 2009-2011 photos provided by Eagle Imaging www.eagleaerial.com

11/5/2013

Attachment No. ZA 3

Site Photos





Attachment No. ZA 4

Project Plans



VICINITY MAP

1. IN THE CASE OF EMERGENCY,
a. CALL MIGUEL FERNANDEZ
b. WORK PHONE : 949-305-7446
c. HOME PHONE: 949-279-0181

2. SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE.

3. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREET, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TACKING, OR WIND.

4. APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WND OR RUNOFF.

5. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITE UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.

6. ALL CONSTRUCTION CONTRACTORS AND SUBCONTRACTORS PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.

7. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.

8. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.

9. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICALS SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS, FERTILIZERS, VEHICLES/EQUIPMENTS WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENTS OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPERSHLOXINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DESPOSE OF SUCH MATERIAL IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPERATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.

10. DEWATERING OF CONTAMINATED GROUNDWATER OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

11. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.

12. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREA WHERE IMPOUNDED WATER CREATED A HAZARDOUS CONDITIONS.

13. THE PERMITTEE AND CONTRACTORS SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.

14. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNER: THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED.

15. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIME DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.

16. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKIND DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.

17. SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AND EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. AND STOCKPILES OF SOILS SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREET, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.

18. APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORTS FROM THE SITE TO STREET, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.

NPDES NOTES

SPECIAL INSPECTION NOTE:

ALL EPOXY INSTALLATIONS REQUIRE SPECIAL INSPECTION
U.O.N.. SPECIAL INSPECTOR:
-COMPANY – ARISTA INSPECTION SERVICE, INC.
-INSPECTOR – ROBERT GETZ
-PHONE # - (949)837-7934

REQUIRED SPECIAL
INSPECTIONS LIST ON SHEET
S1.1. ALL INSPECTIONS PER
CBC 1704.1.1 AND NBMC
15.04.350 & 15.04.360.

OWNER

JON & LINDA PRUN
3400 OCEAN BLVD.
CORONA DEL MAR, CA. 92625
TEL. 949-212-4284
CONTACT: JON & LINDA

DESIGNER

ADD ON CONSTRUCTION & DESIGN
27068 LA PAZ ROAD #641
ALISO VIEJO, CA. 92656
TEL. 949-305-7446
CONTACT: MIGUEL FERNANDEZ

STRUCT. ENGINEER

VERTREES A&E
532 E. LAMBERT ROAD
BREA, CA. 92833
TEL. 714-255-9645
CONTACT: JOE VERTREES

CIVIL ENGINEER

LAMDA ENGINEERING
33175 TEMECULA PARKWAY #A505
TEMECULA, CA. 92592
TEL. 951-676-7688
CONTACT: HECTOR LARA

SURVEYOR

AERO TECH SURVEYS
6810 AIRPORT DRIVE
RIVERSIDE, CA. 92504
TEL. 951-785-0554
CONTACT: WILLIAM SCHMIDT

SOILS ENGINEER

HARRINGTON GEO ENGINEERING
1590 N. BRIAN STREET
ORANGE, CA. 92867
TEL. 714- 637-3096
ENGINEER: CHRISTOPHER TOMLIN

SEPERATE PERMITS REQUIRED FOR:

1. CONCRETE BLOCK FENCE > 42" HIGH
2. RETAINING WALLS
3. SOLAR AND OR PV PANELS
4. FIRE SPRINKLERS (OBTAIN FIRE SPRINKLER PLAN APPROVAL AND PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION. PER CBC 903.2.8 & NBMC 15.05.080
5. HVAC ON ROOF OR SIMILAR

SITE INFORMATION

APN NUMBER: 052 141 16
LOT SQ.FT.: 5,833 SQ.FT.
ZONE: R.1
OCCUP. & USE: R3/U SINGLE FAMILY RESIDENCE / GARAGE
TYPE OF CONSTRUCTION: VB-SPR
BLOCK: 140

ALL WORK SHALL COMPLY WITH THE 2010 CRC, NBMC AND RELATED / APPLICABLE CODES. ALL APPLICABLE CODES: REFER TO CODE SECTIONS OF THE 2010 CALIFORNIA BUILDING CODE (CBC); CRC = 2010 CALIFORNIA RESIDENTIAL CODE; MC = 2010 CALIFORNIA MECHANICAL CODE; PC= 2010 CALIFORNIA PLUMBING CODE; EC = 2010 CALIFORNIA ELECTRICAL CODE; GBC = 2010 CALIFORNIA GREEN BUILDING STANDARD CODE; 2008 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARD.

PROJECT DESCRIPTION

BASEMENT SQ.FT. = 2,934 SQ.FT.
FIRST FLOOR (CONDITIONED) SQ.FT. = 2,147 SQ.FT.
FIRST FLOOR GARAGE SQ.FT (U) = 793 SQ.F.T
FIRST FLOOR COVERED AREA (NOT CONDITIONED) SQ.FT. = 219 SQ.FT.

SECOND FLOOR (CONDITIONED) SQ.FT. = 2,450 SQ.FT.
SECOND FLOOR DECKS (NOT CONDITIONED) SQ.FT. = 669 SQ.FT.

ROOF DECK SQ.FT. = 811 SQ.FT.

TOTAL (CONDITIONED) DWELLING (R3) = 7,531 SQ.FT.

FIRE SPRINKLER REQUIRED : YES

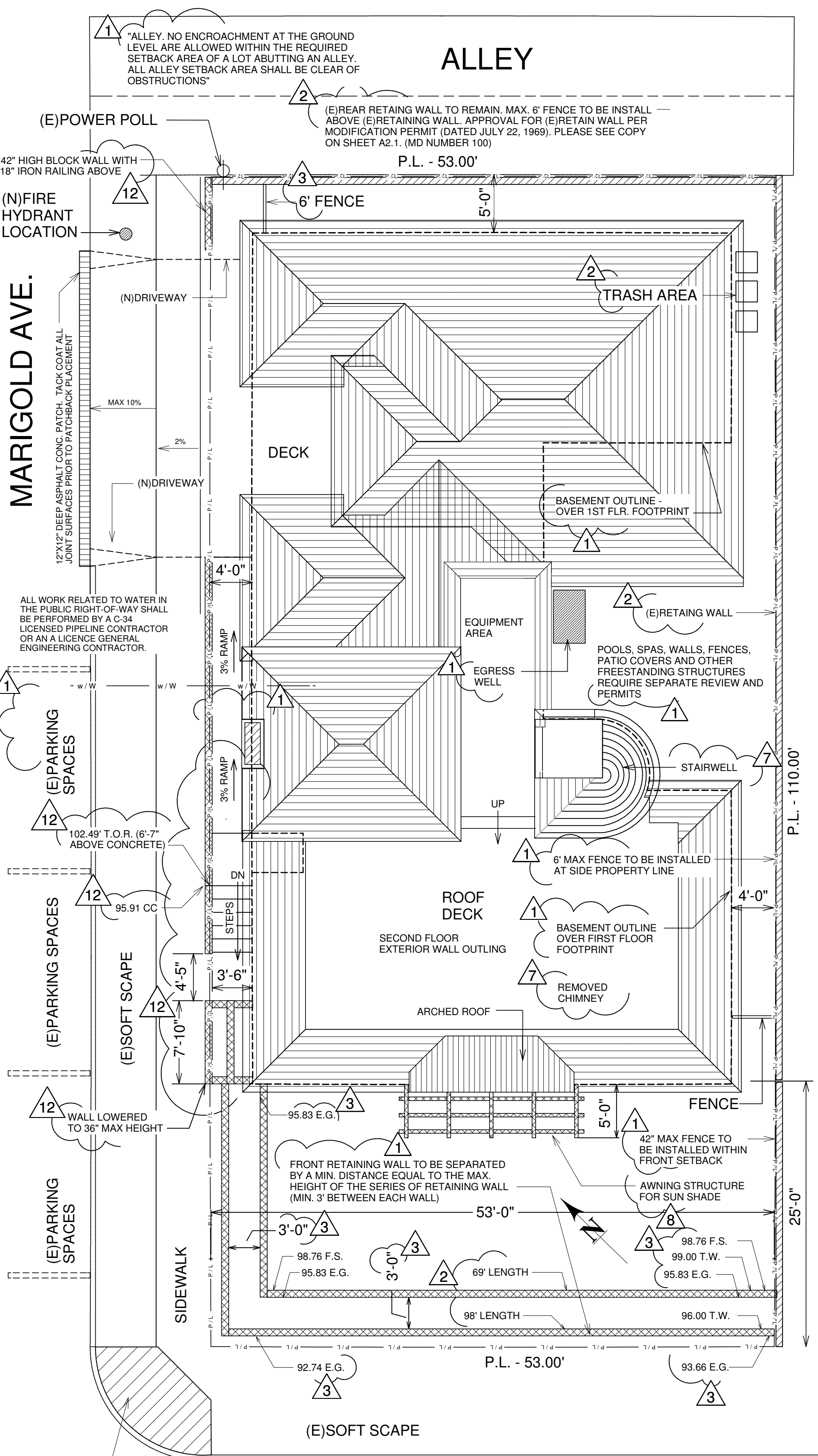
NUMBER OF STORIES: 2 STORIES + BASEMENT + ROOF DECK

PROJECT DATA

A-1 TITLE SHEET, SITE PLAN, PROJECT DATA
A-2 STRUCTURAL & ARCHITECTURAL NOTES
A-2.1 DOCUMENTS (COASTAL AND CITY)
A-3 1ST & 2ND FLOOR PLANS
A-4 BASEMENT & DECK PLAN / WINDOW SCHED.
A-5 ELEVATIONS
A-6 SECTIONS
A-7 ROOF PLANS & VENT CALCS.
E-1 ELECTRICAL NOTES & LEGENDS
E-2 ELECTRICAL LOAD CALCS
E-3 ELECTRICAL PLAN - BASEMENT
E-4 ELECTRICAL PLAN - FIRST FLOOR
E-5 ELECTRICAL PLAN - SECOND FLOOR
E-6 ELECTRICAL PLAN - ROOF
P-0 PLUMBING NOTES & LEGENDS
P-0.1 PLUMBING DETAILS
P-1 PLUMBING PLAN - BASEMENT
P-2 PLUMBING PLAN - FIRST FLOOR
P-3 PLUMBING PLAN - SECOND FLOOR
P-4 PLUMBING PLAN - ROOF
M-1 MECHANICAL NOTES & LEGENDS
M-2 MECHANICAL - BASEMENT & FIRST FLOOR
M-3 MECHANICAL - SECOND FLOOR
M-4 MECHANICAL - ROOF

G-1 GRADING NOTES
G-2 GRADING SITE PLAN
G-3 GRADING SECTIONS
G-4 GRADING EROSION PLAN
SO-1 SOILS REPORT INFO.
TOPO EXISTING TOPOGRAPHIC MAP
S1.0 STRUCTURAL NOTES
S1.1 STRUCTURAL NOTES & LEGENDS
S1.2 STRUCTURAL DETAILS
S1.3 STRUCTURAL DETAILS
S1.4 STRUCTURAL DETAILS
S1.5 STRUCTURAL DETAILS
S2.1 SHORING & FOUNDATION PLANS
S-3 1ST & 2ND FLR. FRAMING PLANS
S-4 ROOF FRAMING PLANS
SD-1 FRAMING DETAILS
SD-2 FRAMING DETAILS
SD-3 FRAMING DETAILS
SD-4 FRAMING DETAILS
SD-5 FRAMING DETAILS
SSW-1 SIMPSON STRONGWALL DETAILS
SSW-2 SIMPSON STRONGWALL DETAILS
T-24 TITLE 24 CALCULATIONS

SHEET INDEX



OCEAN BLVD.

AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.

A PUBLIC WORK DEPARTMENT ENCROACHMENT PERMIT INSPECTION IS REQUIRED BEFORE THE BUILDING DEPARTMENT PERMIT FINAL CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT INSPECTION, IF AN OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND ALLEY/STREET PAVEMENT WILL BE REQUIRED AND 100% PAID BY THE OWNER. SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR

POOL NOTE: ADDITIONS, REMODELS, OR RENOVATIONS OF A SINGLE FAMILY HOME WITH AN EXISTING POOL REQUIRES THE SUCTION OUTLET OF THE EXISTING POOL, SPA, OR TODDLER POOL TO BE UPGRADED SO AS TO BE EQUIPPED WITH AN APPROVED ANTI-ENTRAPMENT COVER MEETING THE CURRENT STANDARDS OF THE ASTM OR ASME PER SECTION 115920 HSC

STRUCTURAL OBSERVATION NOTE: STRUCTURAL OBSERVATION IS REQUIRED. PLEASE SEE STRUCTURAL SHEET S1-1 FOR COMPLETE NOTE AND STAGES.

POLLUTANTS DISCHARGE:
THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITE OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

SITE PLAN

SCALE: 1/8" = 1'-0"

REVISIONS	BY
1 01-26-12	MF
2 02-22-12	MF
3 02-24-12	MF
4 03-16-12	MF
5 07-05-12	MF
6 08-07-12	MF
7 09-26-12	MF
8 11-20-12	MF
9 12-03-12	MF
10 12-03-12	MF
11 08-16-13	MF
12 08-21-13	MF

STRUCT. CALCS. PREPARED
BY: VERTREES A & E
532 EAST LAMBER ROAD
BREA, CA. 92821
714-255-9645

PLANS PREPARED BY:
ADD ON CONSTRUCTION
27068 LA PAZ ROAD #641
ALISO VIEJO, CA. 92656
949-305-7446

PRUN RESIDENCE
3400 OCEAN BLVD.
CORONA DEL MAR, CA.
92625
949-212-4284

DESIGNED & DRAWN BY:
MIGUEL FERNANDEZ
LIC. B-838393

DATE:

DRAWN M. FERNANDEZ

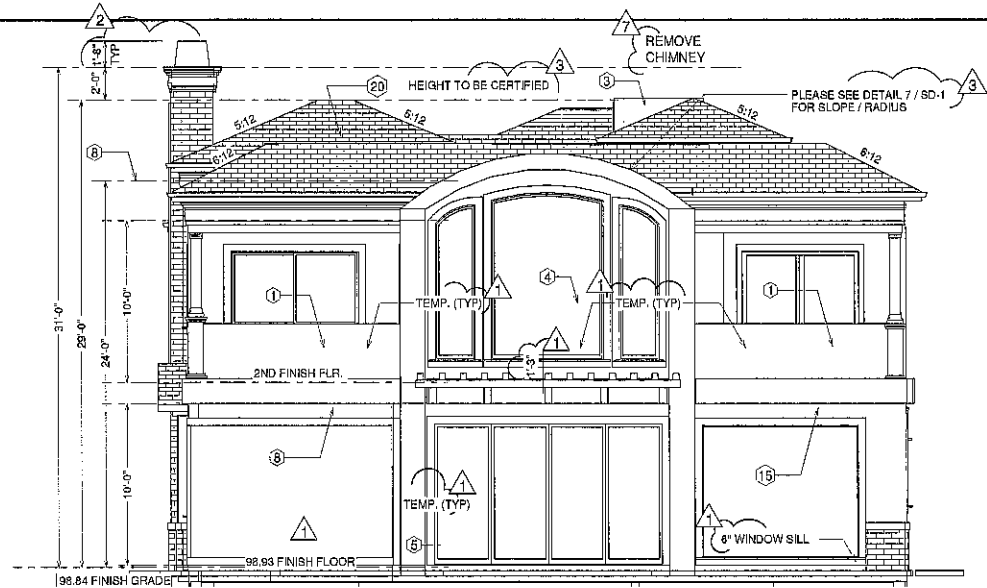
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DATE JUNE 12, 2012

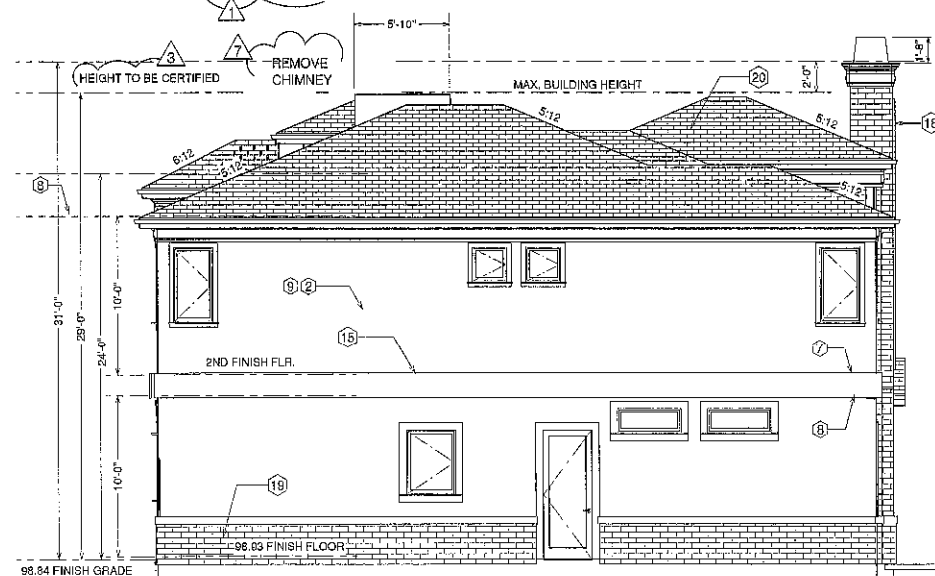
SCALE PER PLAN

SHEET

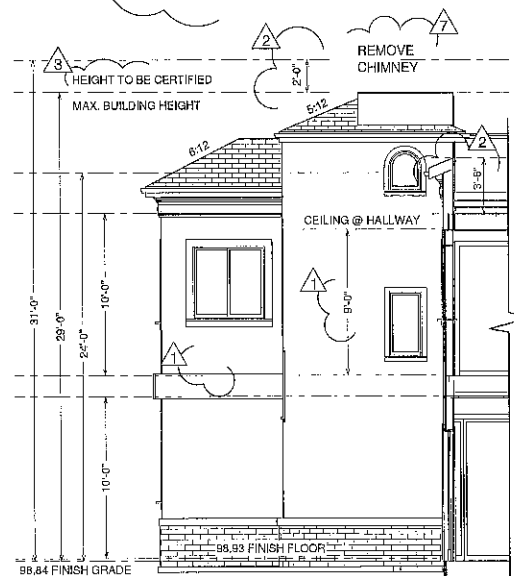
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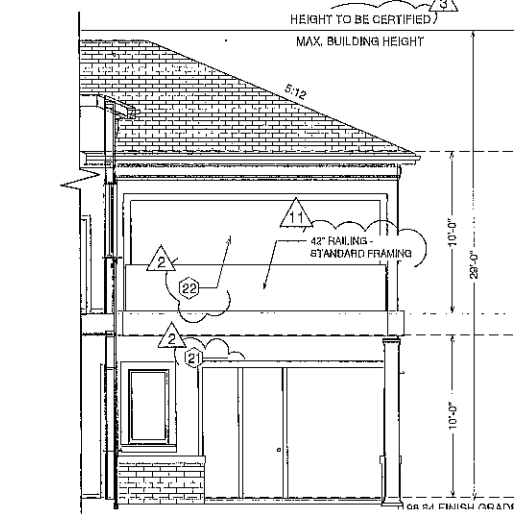
(A) ELEVATION
SCALE: 3/16" = 1'-0"



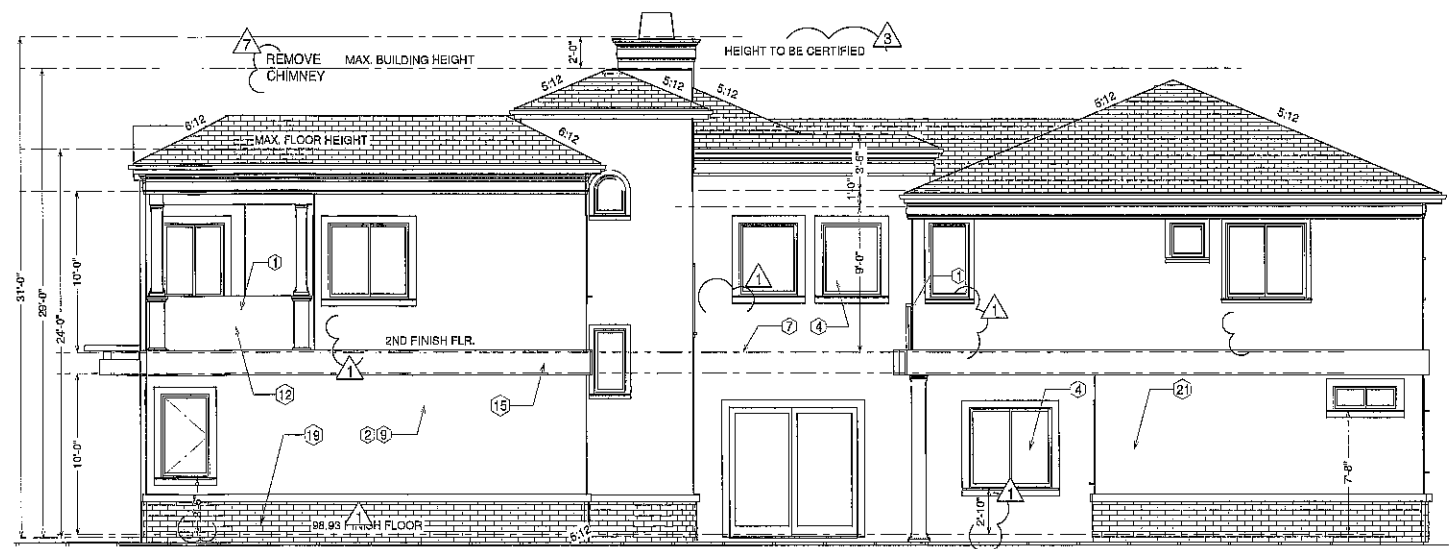
(B) ELEVATION
SCALE: 3/16" = 1'-0"



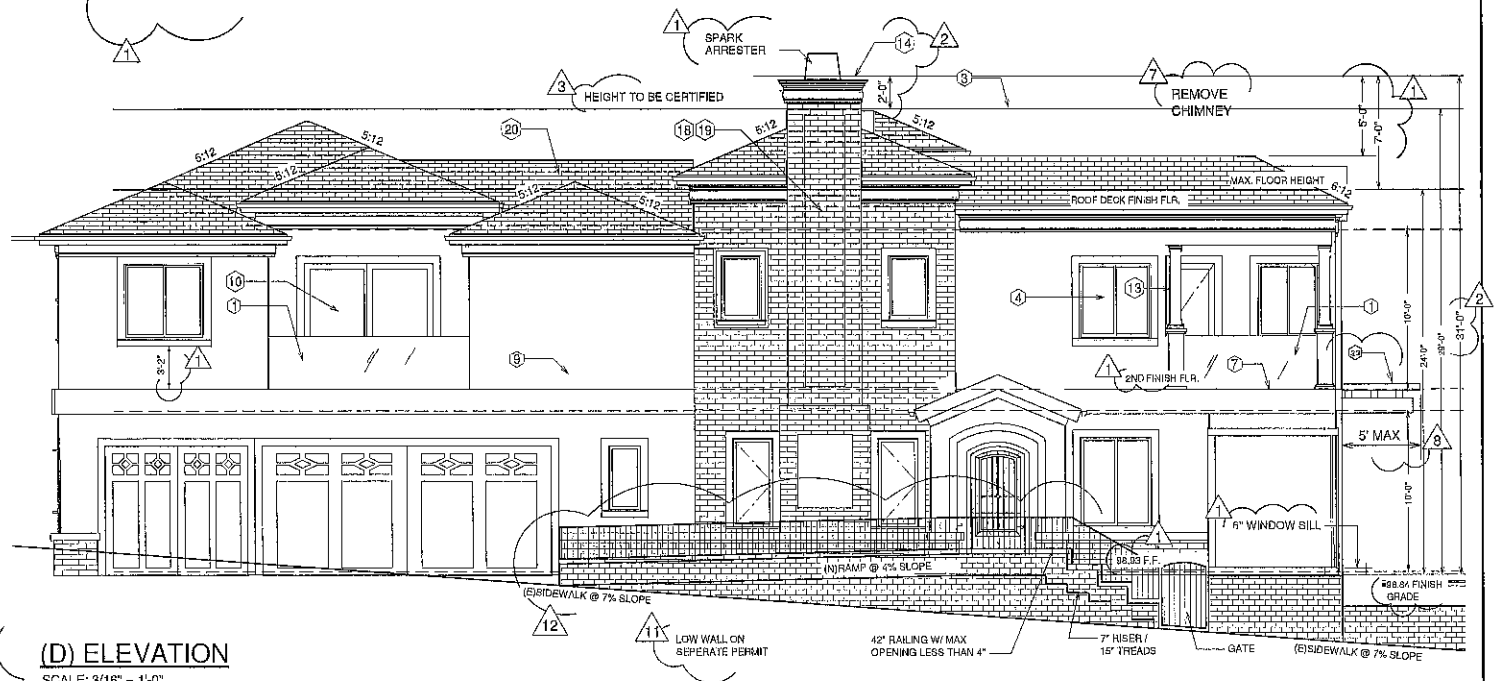
(B1) ELEVATION
SCALE: 3/16" = 1'-0"



(B2) ELEVATION
SCALE: 3/16" = 1'-0"



(B) ELEVATION
SCALE: 3/16" = 1'-0"



(D) ELEVATION
SCALE: 3/16" = 1'-0"

1. TEMPERED GLASS RAILING - 42" HIGH TYPICAL. SEE DETAIL 1/SD4
2. STUCCO LATH AND DRYWALL SHALL BE NAILED TO STUDS AND TOP-BOTTOM PLATES
3. HEIGHT OF (N)CONSTRUCTION
4. (N)WINDOWS (SEE SCHED. / SHEET A4)
5. (N)DOORS (SEE SCHED. / SHEET A4)
6. (N)GARAGE DOORS
7. FLOOR LINE
8. PLATE LINE
9. (N)STUCCO - EXTERIOR LATH TO HAVE TWO LAYERS OF GRADE D PAPER OVER ALL WOOD BASE SHEATHING. (CRC 2010)
10. SLIDER PATIO DOOR - SEE DOOR SCHED.
11. 2X FASCIA
12. (N)DECK
13. (N)POST FOR NEW DECK
14. TOP OF CHIMNEY
15. 2x TRIM
16. ROOF DECK FINISH FLOOR
17. ROOF DECK ACCESS - 24 SQ.FT.
18. NEW CHIMNEY. CHIMNEY TERMINATION 2' ABOVE ANY PART OF BLDG WITHIN 10' (SPARK ARRESTER REQUIRED)
19. NEW STONE VENEER - CORONADO LEGEND SERIES - QUICK STACK - SAHARA BLEND / ICC-ESR-2598. PLEASE SEE DETAIL 9/SD4
20. NEW ROOFING MATERIAL SHALL BE MONIERLIFE/ILE / SAXONY 600 SHAKE /DEEP BROWN/ ICC ESR-1647. NEW ROOF COVERING TO BE AT LEAST GLASS "A" RATING. INSTALLED DRY WEIGHT 10.3 PSF
21. OPENING INTO OUTDOOR TV ROOM. HEADER PER PLAN
22. OPENING INTO SECOND FLOOR EXERCISE DECK. HEADER PER PLAN
23. AWNING SUN SHADE STRUCTURE OVER PATIO SLIDER DOOR

KEYNOTES

REVISIONS	BY
1 01-26-12	MF
2 02-22-12	MF
3 02-24-12	MF
4 03-16-12	MF
5 07-05-12	MF
6 08-07-12	MF
7 09-26-12	MF
8 11-20-12	MF
9 12-03-12	MF
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11 08-16-13	MF
12 08-21-13	MF

STRUCT. CALCS. PREPARED
BY: VERTEES & E
532 EAST LAMBER ROAD
BREA, CA. 92821
714-255-9645

PLANS PREPARED BY:
ADD ON CONSTRUCTION
27068 LA PAZ ROAD #541
ALISO VIEJO, CA. 92656
949-305-7446

PRUN RESIDENCE
3400 OCEAN BLVD.
CORONA DEL MAR, CA.
92625
949-212-4284

DESIGNED & DRAWN BY:
MIGUEL FERNANDEZ
LIC. B-839393

DATE:

DRAWN M. FERNANDEZ

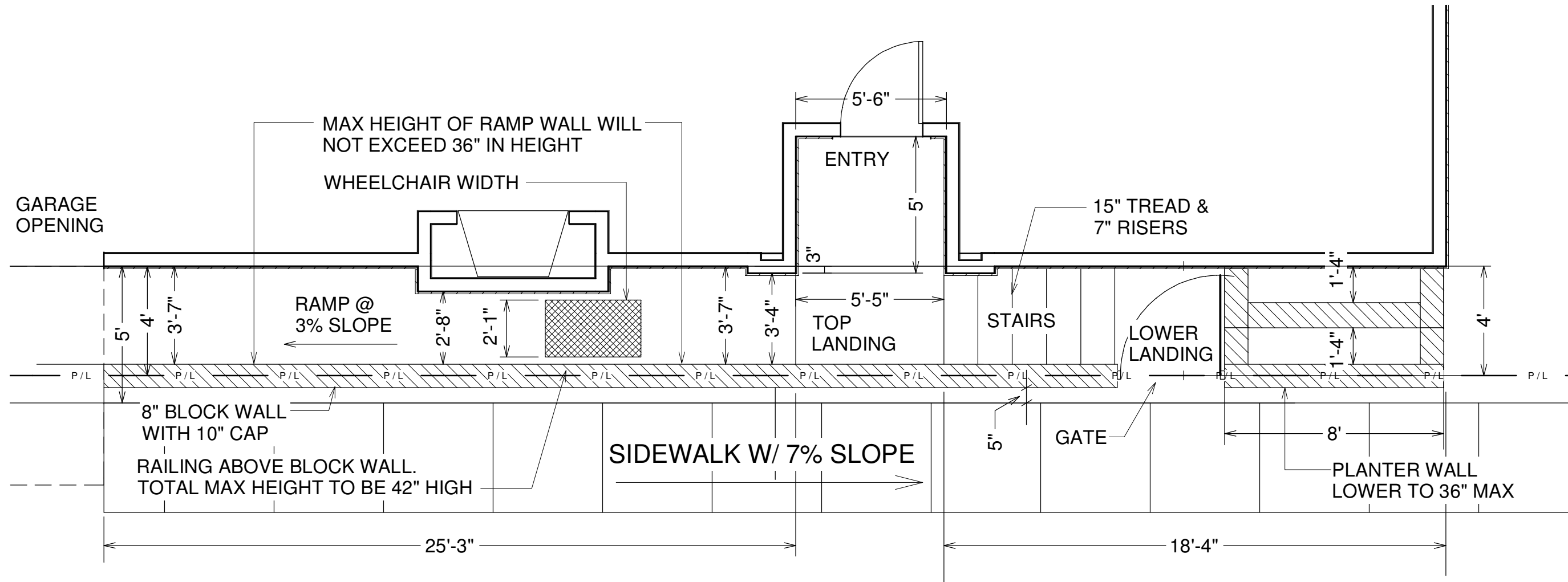
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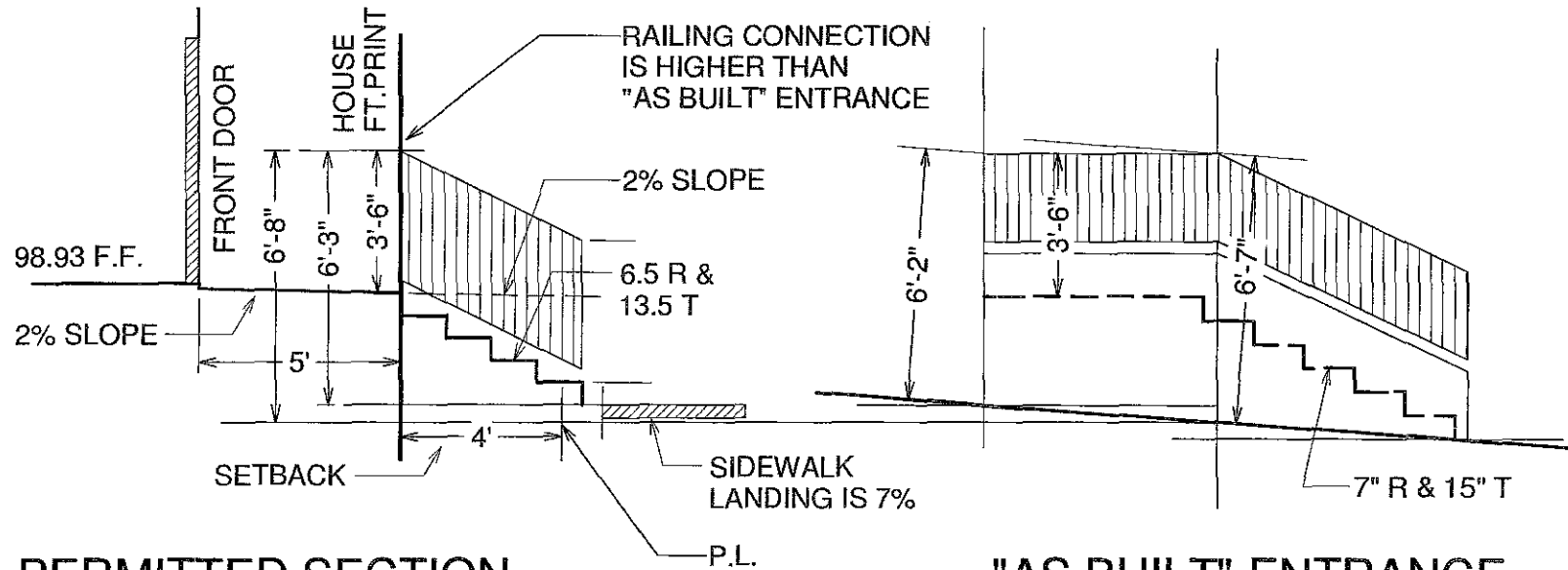
SCALE PER PLAN

SHEET

A-5

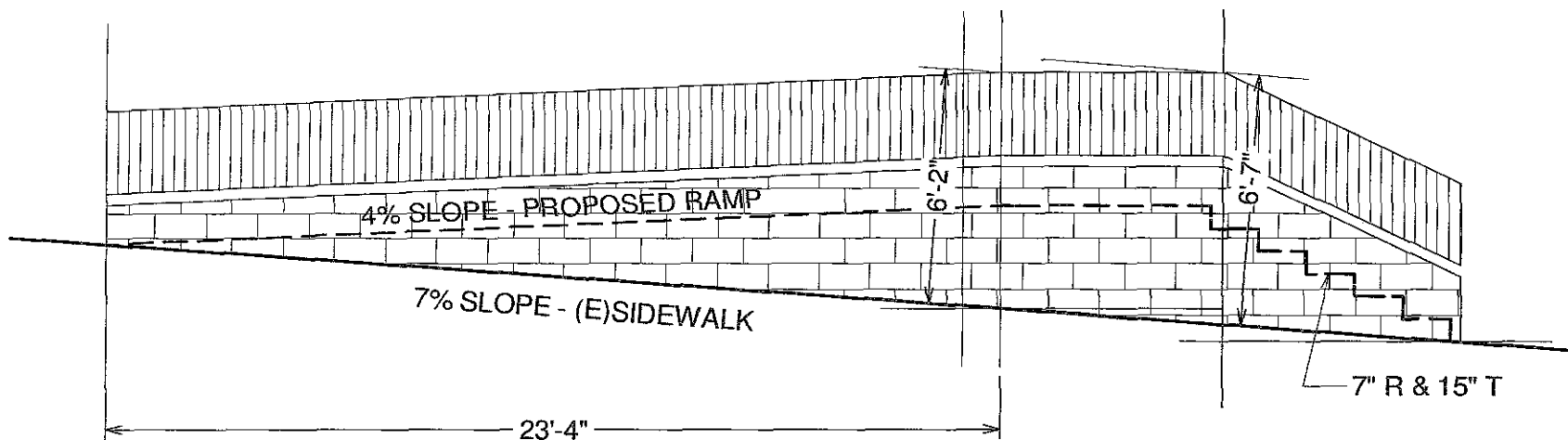


MARIGOLD AVE.

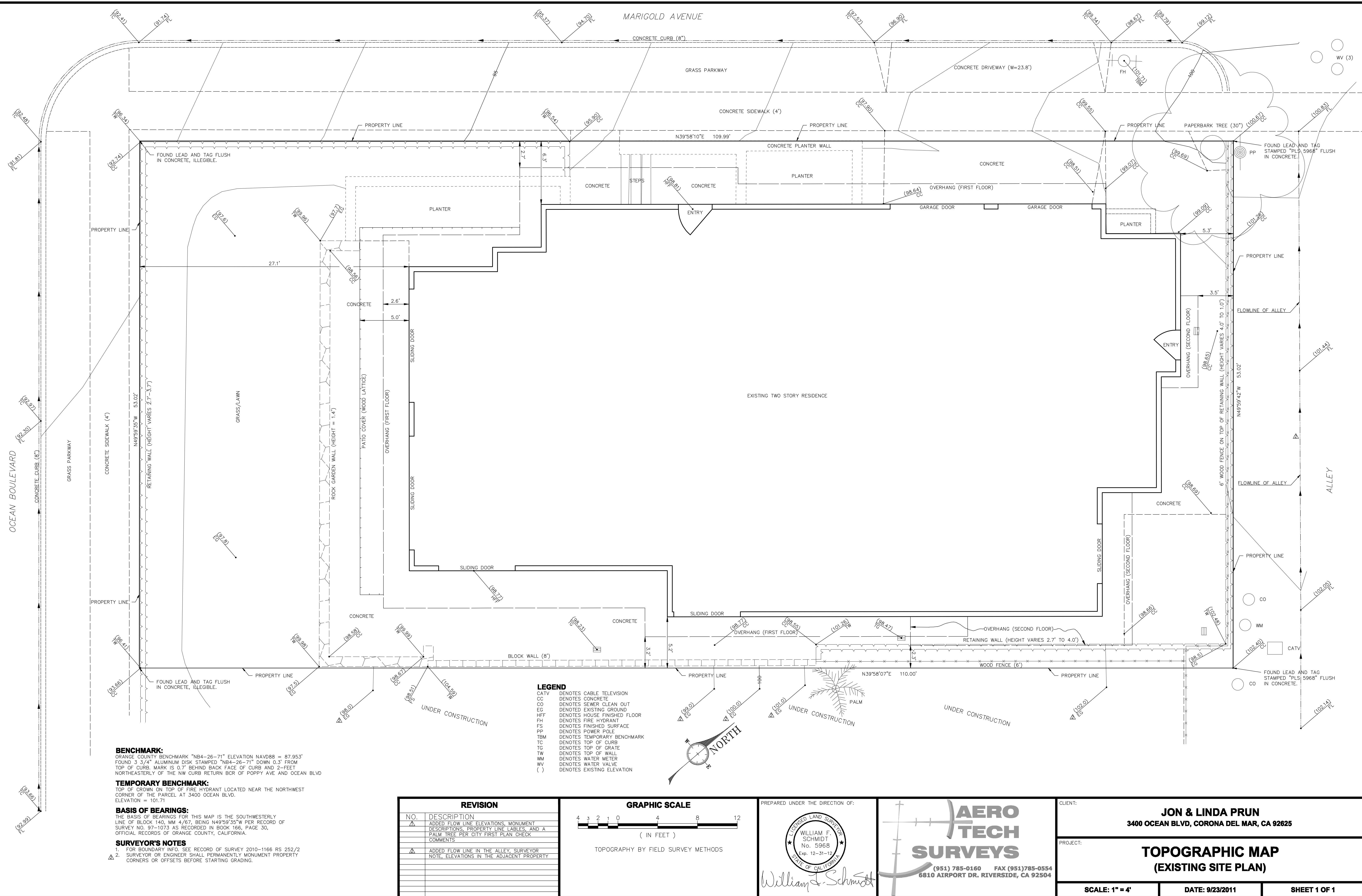


PERMITTED SECTION
ENTRANCE
WILL NOT WORK

"AS BUILT" ENTRANCE
MARIGOLD ELEV.



"AS BUILT" ENTRANCE W/ PROPOSED RAMP
MARIGOLD ELEV.



DISPOSITION NOTES

- 1 JOIN AND MATCH EXISTING
- 2 PROTECT IN PLACE
- 3 DEMOLISH AND DISPOSE
- 4 CONSTRUCT PER ARCHITECT'S PLANS

CONSTRUCTION NOTES

- 1 CONSTRUCT PCC SLAB PER DET. 1/C-1
- 2 CONSTRUCT LOCAL AREA PLASTIC DRAIN PER DET. 2/C-1
- 3 CONSTRUCT PCC TRENCH DRAIN PER DET. 3/C-1
- 4 CONSTRUCT PCC BOTTOMLESS TRENCH DRAIN PER DET. 4/C-1
- 5 INSTALL 4" PVC SCH 40 AREA DRAIN LINE SLOPE PER PLANS 1% MIN U.N.O.
- 6 CONSTRUCT RETAINING WALL BY OTHERS SEE WALL PLANS, UNDER SEPARATE PERMIT
- 7 CONSTRUCT PERFORATED DRAIN/TRENCH PER DET. 7/C-1
- 10 CONSTRUCT DRIVEWAY PER CITY STD-162-L FOR 8" CURB, X= 4'
- 11 CONSTRUCT 12"x12" AC PATCH, TACK COAT ALL JOINT SURFACES PRIOR TO PATCHBACK PLACEMENT, AS APPROVED BY P.W.
- 12 CONSTRUCT 4" WALKWAY OVER COMPACTED NATIVE PER CITY STD-180-L
- 13 CONSTRUCT H.C. RAMP PER CITY STD-181-L
- 14 CONSTRUCT PARKWAY DRAIN PER CITY STD PER CITY STD-184-L
- 15 RELOCATE EX. FIREHYDRANT TO NEW LOCATION AS SHOWN PER CITY STD-500-L

LICENSED LAND SURVEYOR SHALL PERMANENTLY MONUMENT ALL PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING

PRECISE GRADING PLAN

3400 OCEAN BLVD, CORONA DEL MAR

Area of grading disturbance= 5830 sf = 0.13 acres

MARIGOLD AVENUE

AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT OF WAY

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ALL WORK RELATED TO WATER IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A C-34 LICENSED CONTRACTOR OR A LICENSED GENERAL ENGINEERING CONTRACTOR

LEGEND

- A.C. ASPHALT CONCRETE
B.W. BACK OF WALK
C.L. CENTERLINE
E.G. EXISTING GRADE
F.F. FINISH FLOOR
F.S. FINISH SURFACE (OR GRADE)
F.L. FLOW LINE
F.N.D. FOUND
L.S. LICENSED SURVEYOR
O/S OFFSET
T.B.M. TEMPORARY BENCHMARK
T.C. TOP OF CURB
W.M. WATER METER
W.V. WATER VALVE
S.L. STREET LIGHT
F.H. FIRE HYDRANT
P.P. POWER POLE
H.P. HIGH POINT
R. RIDGE
T.O.G. TOP OF GRATE
- SHRUBS
12-24" DIAMETER TREE
- SEWER MANHOLE
DAY LIGHT, LIMITS OF GRADING,
ASPHALT REPAIR PER CITY STDS.
GRAVEL BAGS FOR EROSION CONTROL
RETAINING WALL PROPOSED
RETAINING WALL EXISTING

Underground Service Alert

CALL TOLL FREE
DIAL
811

TWO WORKING DAYS BEFORE YOU DIG

PLANS PREPARED BY:

LAMD ENGINEERING & DEVELOPMENT

33175 Temecula Parkway, Suite A-505 (951) 676-7088
Temecula, Ca. 92592 Fax (951) 676-5150
E-mail: lamdev@yahoo.com LAMDEV.COM

OWNER DEVELOPER: Jon and Linda Prun

3400 Ocean Blvd

Corona del Mar, Ca. 92625

PH: 949-212-4284

NO.	DATE	BY	REVISIONS	CHECKED BY	DATE
1	8/13/11	HL	MODIFICATIONS TO ENTRY STAIRS	APPR. DATE	APPR. DATE
2					
3					
4					
5					
6					
7					
8					
9					
10					
11					
12					
13					
14					
15					

RECOMMENDED FOR APPROVAL	SEAL	SEAL	APPROVED BY:	DATE
			R.C.E. NO. _____ EXP. DATE _____	
			PREPARED BY: <i>Hector A. Lara</i>	
			Hector A. Lara, P.E.	
			R.C.E. NO. C-049312 EXP. DATE 9/30/2012	

DESIGNED BY	DRAWN BY	CHECKED BY	DATE

SEAL	SEAL	APPROVED BY:	DATE
		R.C.E. NO. _____ EXP. DATE _____	
		PREPARED BY: <i>Hector A. Lara</i>	
		Hector A. Lara, P.E.	
		R.C.E. NO. C-049312 EXP. DATE 9/30/2012	

APPROVED BY:	DATE

PRECISE GRADING PLAN	PRECISE GRADING PLAN
PRUN RESIDENCE PRECISE GRADING PLAN	PRUN RESIDENCE
3400 OCEAN BLVD	3400 OCEAN BLVD
CORONA DEL MAR, CA. 92625	CORONA DEL MAR, CA. 92625
SCALE: AS SHOWN	BENCH MARK: SEE ABOVE PROJECT DATA
DATE 08/25/2013	

FOR: ADD-ON CONSTR	WO: 0212 C 674

PRECISE GRADING PLAN	PRECISE GRADING PLAN
PRUN RESIDENCE PRECISE GRADING PLAN	PRUN RESIDENCE
3400 OCEAN BLVD	3400 OCEAN BLVD
CORONA DEL MAR, CA. 92625	CORONA DEL MAR, CA. 92625
SCALE: AS SHOWN	BENCH MARK: SEE ABOVE PROJECT DATA
DATE 08/25/2013	

SHEET NO.	SHEET NO.
C-2	C-2
OF 4 SHEETS	OF 4 SHEETS
FILE NO.	FILE NO.



APN 052-141-16